



Statutory Document No.

TOWN AND COUNTRY PLANNING ACT 1999

TOWN AND COUNTRY PLANNING (BALLAKILLEY, BRIDE) DEVELOPMENT ORDER 2011

Approved by Tynwald

2011

Coming into operation

2011

The Department of Infrastructure makes this Order under section 8(1),(2),(3)(b) and (4)¹ and section 11(3) of the Town and Country Planning Act 1999².

1 Title

This Order is the Town and Country Planning (Ballakilley, Bride) Development Order 2010.

2 Commencement

If approved by Tynwald³, this Order comes into operation on [date to be inserted].

3 Interpretation

¹ By virtue of section 11(4) of the Act references in the Act to the Department shall, where the context so requires, be construed as references to the Council of Ministers.

² 1999 c.9

³ As required by section 44(1) of the Act
Price Code A £1.20

In this Order “the site” means the land in the Parish of Bride edged by a thick black line on the plan in Schedule 1.

4 Planning Approval

Subject to the conditions set out in Schedule 2, planning approval in principle is granted for the development of the site for the purposes set out in paragraph 4 of Schedule 2.

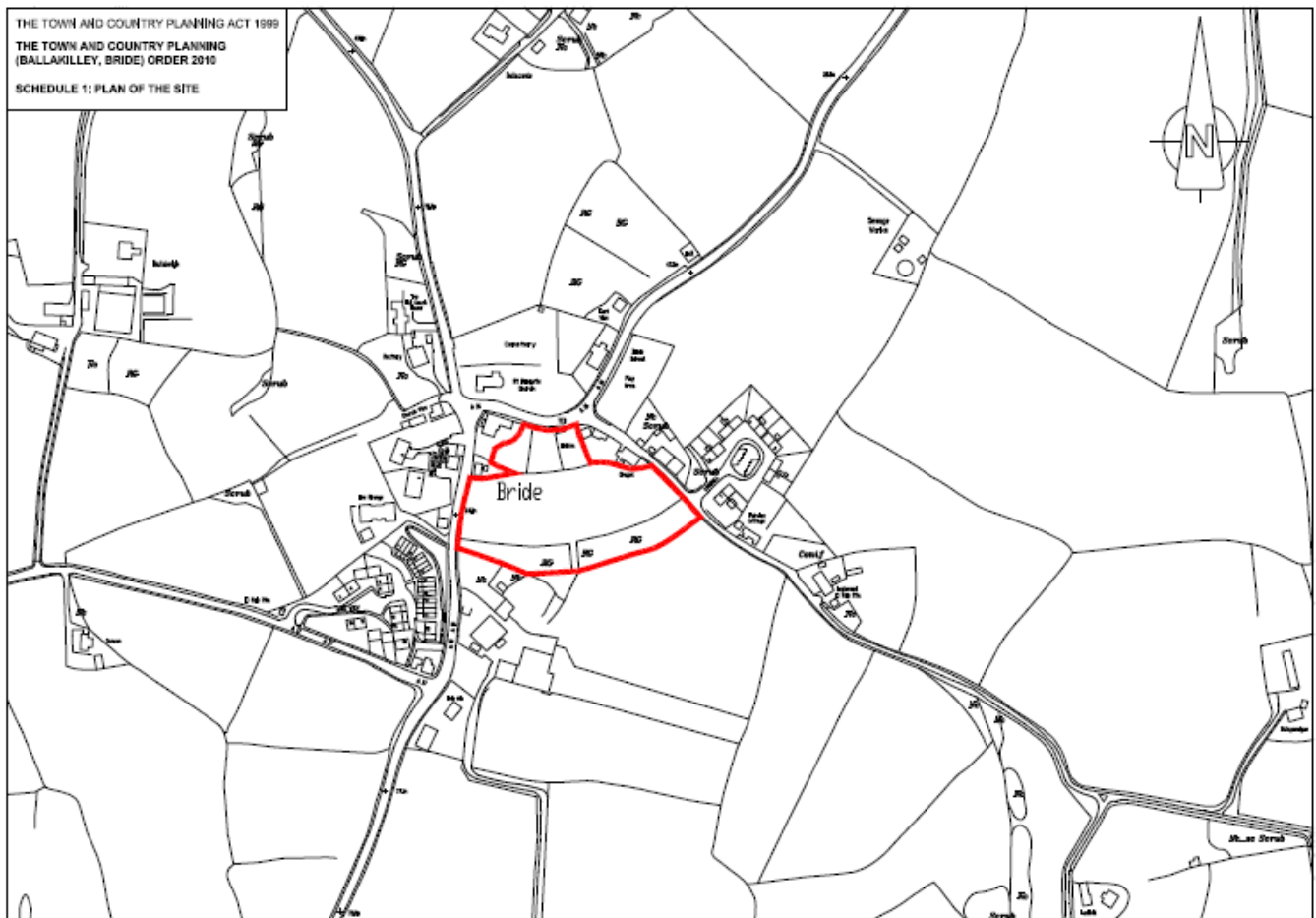
MADE

Minister for Infrastructure

SCHEDULE 1

[article 3]

PLAN OF THE SITE



SCHEDULE 2

[article 4]

CONDITIONS OF APPROVAL

- 1 This approval is in principle only and will remain valid for a period of four years (“the approval period”) from the date this Order is approved by Tynwald.
- 2 The Council of Ministers shall consider an application for approval of the details of the building, engineering or other operations which it is proposed to commence.
- 3 Development of the site, which must be within the approval period, must not commence unless the Council of Ministers first approves the application in writing.
- 4 This approval is for use of the site for the purposes of housing and a public car-park.
- 5 There must be no more than 27 dwellings on the site. These must be sited on that part of the site south of the existing public car-park.
- 6 Vehicular access to the dwellings must be in accordance with the following constraints—
 - (a) no more than 3 dwellings may be served from the Lambhill Road;
 - (b) excepting those accessed in accordance with (a) above, dwellings must be accessed by a new road from the A16 across the existing public car-park; this road must be designed in accordance with Manx Roads Guide⁴;
 - (c) the access of the new road referred to in (b) above on to the A16 must be provided with visibility splays of 4.5m by 45m; and
 - (d) any vehicular access on to the Lambhill Road must be provided with visibility splays of 2.4m by 23m.

⁴ A guide to the design of Residential Roads, Footpaths, Parking and Services: Consultation Draft , April 1993.

- 7 The site must be laid out in accordance with the following design criteria –
- (a) there must be included a pedestrian route giving access on to Ballakilley Hill (the A10);
 - (b) there must be included a scheme of environmental improvement to the residual parts of the public car-park, access to which must be from the new road referred to in 5(b) above;
 - (c) buildings must be sited irregularly and at varying distances from, and orientations to, the roadway; and
 - (d) there must be provided roadside boundary walls and hedges; the walls must be of Manx stone, laid in random rubble fashion and either painted or left as exposed stone; hedges must be of local shrubs.
- 8 The buildings must be designed such as to reflect the character of the traditional buildings in Bride village; in particular –
- (a) roofs must be of slate (or good quality imitation slate) pitched at an angle of approximately 40°;
 - (b) flues must emerge through stacks of traditional dimensions;
 - (c) walls must be finished in natural stone or painted roughcast render; and
 - (d) windows must be vertically proportioned and set on concrete sub-cills.
- 9 All services must be laid underground, and all soil-stacks must be internal.
- 10 At least 75% of the dwellings must be made available as approved dwellings in terms of the House Purchase Assistance Scheme 2007⁵ or as public-sector housing units.

⁵ GC 25/07 as amended by GC 66/07 and GC 19/08

EXPLANATORY NOTE

(This note is not part of the Order)

This Order grants Planning Approval in principle for the development of approximately 1.2 hectares (3 acres) of land between Ballakilley Hill and the Lambhill Road in Bride Village, including the existing public car-park. The land is identified on a plan in Schedule 1 and would be subject to the conditions set out in Schedule 2. In particular, the conditions require the submission of details of the proposed development to be referred to the Council of Ministers for determination.